

# Bourne Hard Court Evaluation and Rehabilitation Plan

This report is submitted to drive improvements in the basketball and racquet sports facilities in the Town of Bourne. Racquet sports to include both tennis and pickleball.

## Existing Facilities

### Identification of existing “hard courts” around town

Clarke Field Recreation Area, Sagamore Beach

- Two Tennis-4 Pickleball
- One Basketball

Keith Field Recreation Area -South Sagamore

- One Tennis

Town Hall

- One Tennis

Bourne Veterans Memorial Community Building

- One Basketball

Chester Park-Monument Beach

- Two Tennis courts-4 Pickleball
- One Basketball

Pocasset Recreation Area

- One Tennis-4 Pickleball
- Two Basketball

Cataumet Schoolhouse

- One Tennis-2 Pickleball

### Assessment of existing properties

All courts are evaluated on a scale where the maximum number of points is 10.

- Asphalt condition is assessed to determine the value in rehabilitating the “existing” asphalt and the years it has left before it is beyond use. This is an important assessment so is given a weighted multiplier of 2.
- Surface condition is assessed to determine the playability of the court. As cracks, birdbaths, grass encroachment or other obstacles disturb the surface, the playability score drops. This is a critical assessment for play so weighted the highest with a multiplier of 3.
- Fence condition is assessed to determine the current state of the surrounding fence. It is not considered critical to play so has a weighted multiplier of 1.
- Parking is assessed to evaluate the available parking in each location. This report makes no attempt to assess the condition of the parking spaces. This is important but not critical to play so assessed a multiplier of 1.
- Demand is a subjective attempt to assign how much use the courts get in that location. It is subjective as poor condition courts may receive less play strictly

because of their condition. This is an important assessment so assigned a multiplier of 2.

The budget pricing was requested from Cape and Island Tennis & Track in Pocasset in August of 2021 and includes all labor at prevailing wages and material to repair the courts. No fencing prices have been included at any location although most of the fencing was in reasonably good condition.

### Clarke Field

Clarke Field Tennis courts are in fair condition. There are 455 linear feet of cracks that need rehabilitation. This includes some previous repairs that will have to be removed to affect the new refurbishing. The fences surrounding all three courts are in good condition. The courts have some cracking where it is obvious the asphalt is starting to fail but is still at a point where the condition could be extended several years by rehabilitating the surface and recoating. Expected life remaining in the courts is less than five years. The 2021 budget pricing cost to rehabilitate these two courts is \$54,000.

On a ten-point scale:

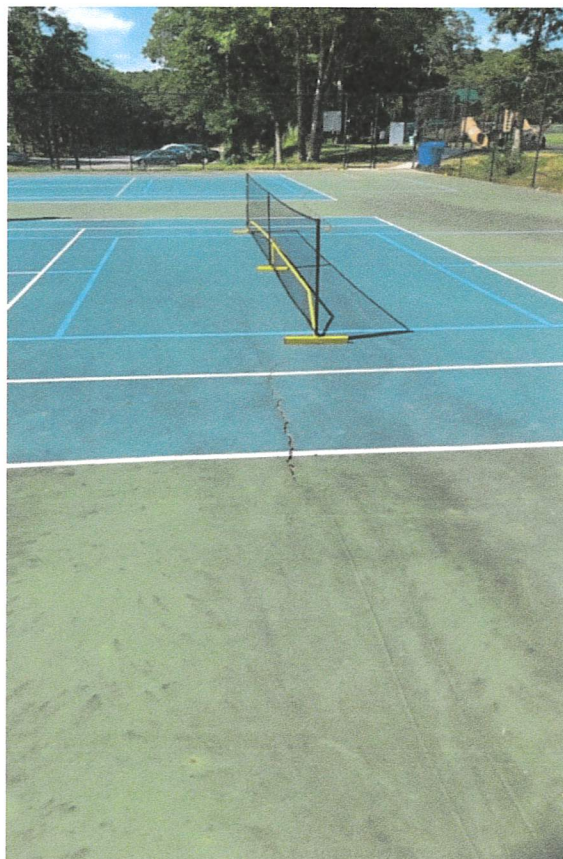
Asphalt Condition: 4

Surface condition: 5

Fence condition: 8

Parking: 10

Demand: 8



The Clarke Field Basketball court is similar to the adjacent tennis courts. The surface is cracking and there is 214 linear feet of cracks that require repair. The asphalt is the same age as the tennis courts and is failing but still worth rehabilitating and the Town should expect to get another five years from it after refurbishing. The 2021 budget pricing cost to rehabilitate this basketball court is \$25,000.

On a ten-point scale:

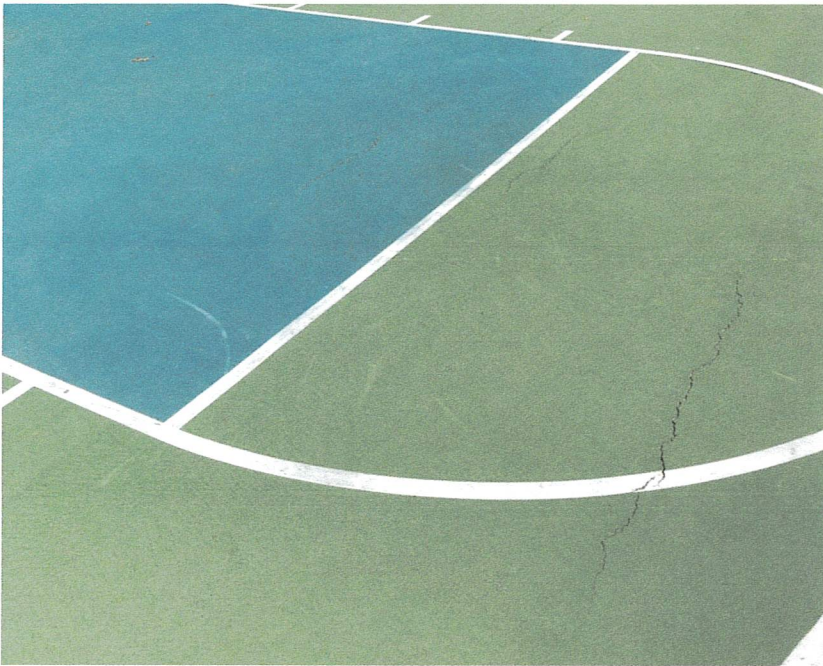
Asphalt Condition: 4

Surface condition: 5

Fence condition: 8

Parking: 10

Demand: 8



## Keith Field Recreation Area, Sagamore

The Keith Field court is in poor condition. The court has 449 feet of cracks that require rehabilitation. There are also two “birdbaths” deep enough to warrant repair. Birdbaths are depressions that hold water after it rains and are usually considered worth repairing if their depth exceeds the thickness of a nickel. Tennis courts that have more than 500 linear feet of cracks are considered “not worth repairing” and this court is just under that. The fence is in fair condition. The asphalt has failed to the point where strong consideration should be given to refurbishing it again. Nevertheless, it is under the threshold and “could” be rehabilitated. Expected life remaining in the courts is no more than three years. The 2021 budget pricing cost to rehabilitate this tennis court is \$30,300.

On a ten-point scale:

Asphalt Condition: 1

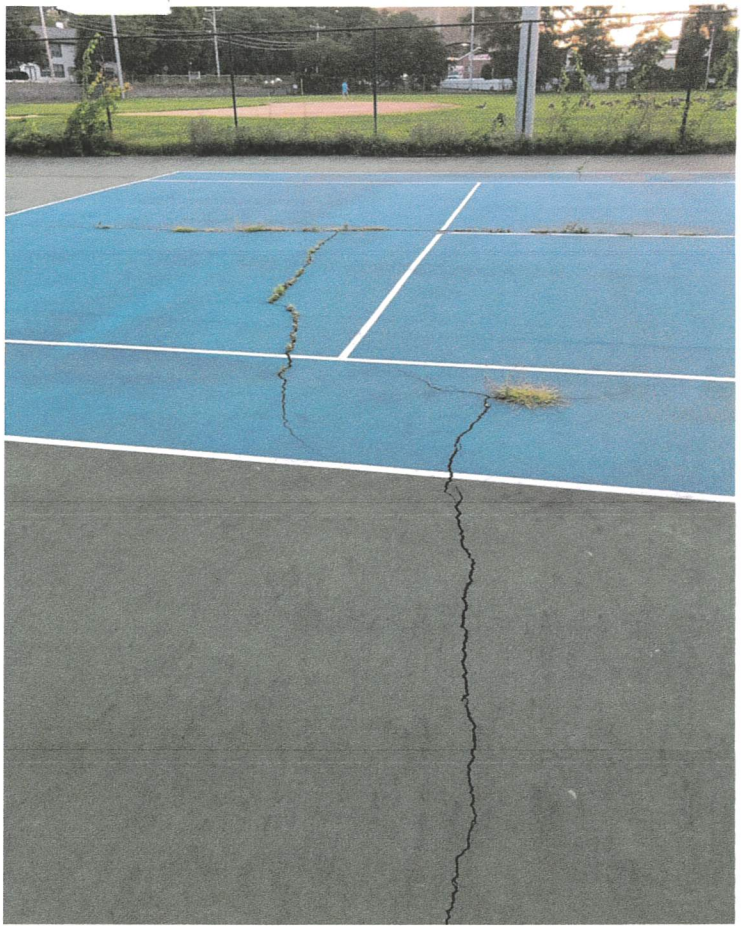
Surface condition: 2

Fence condition: 4

Parking: 8

Demand: 3





## Town Hall

The Town Hall court is in poor condition. The fence is in fair condition and although old, is still functioning with both gates still working. The tennis court has extensive cracking and the asphalt has failed to the point where it is no longer economical to rehabilitate it. Expected life remaining in the courts is zero years. There is more than 500 linear feet of cracking on the surface so no pricing was given for the rehabilitation of this court.

On a ten-point scale:

Asphalt Condition: 1

Surface condition: 2

Fence condition: 6

Parking: 10

Demand: 2





## Bourne Veterans Memorial Community Building

The Community Building Basketball court has extensive cracking with over 500 linear feet of cracks that are approximately ½" wide. The asphalt is failing and has already been repaired at least once and those repairs are also failing. This court should be scheduled for replacement as soon as funds allow as it is not worth rehabilitating. The fence is in excellent condition. The 2021 budget pricing cost to replace the basketball court is \$75,000.

On a ten-point scale:

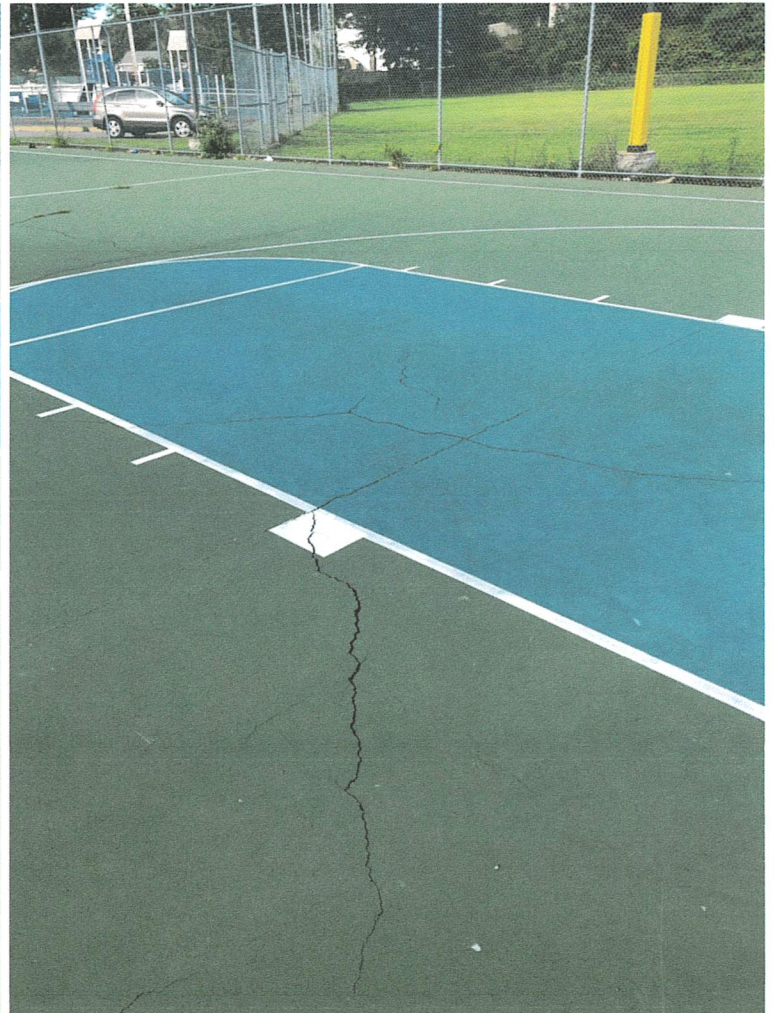
Asphalt Condition: 3

Surface condition: 5

Fencing: 10

Parking: 10

Demand: 10







## Chester Park-Monument Beach

The Monument Beach courts are in poor condition despite Bourne DPW's valiant attempt to temporarily fill the cracks. The width of the cracks indicates asphalt failure that is beyond any economical ability to rehabilitate. The fence is in good condition. Both tennis courts have significant cracking some of which is evident in pictures below in white crack filler. Cracks wider than 3/8" are beyond the bonding of crack filler and will fail again quickly. The temporary repairs affected by the DPW will extend the expected life of the courts for perhaps another year but the extensive cracking of that width makes it beyond refurbishing. Strong consideration should be given to not replacing any hard court on that location that is not post-tensioned concrete. The proximity to the beach and its potential for serious storm damage would make the "base" subject to undermining which would make any asphalt construction short lived.

On a ten-point scale:

Asphalt Condition: 2

Surface condition: 3

Fence condition: 7

Parking: 5

Demand: 8





The Monument Beach Basketball court is in good condition. There is some asphalt cracking that is starting but it is minor and not in need of rehabilitation yet. There is no fence. The court has no protection against blowing sand and is often covered in sand making play difficult. Nevertheless, there are people playing there regularly and it remains in demand. The courts proximity to the beach makes it a poor site for long term asphalt construction as the base is in constant danger of erosion. It may be worth considering meeting with representatives of the Monument Beach Civic Association and ask for their input on how best to provide a better location for a neighborhood basketball court.

On a ten-point scale:

Asphalt Condition: 7

Surface condition: N/A

Fence condition: N/A

Parking: 5

Demand: 8



## Pocasset Recreation Area

The Pocasset tennis court is in fair condition. There is 136 linear feet of cracks that need rehabilitation. Of somewhat larger concern is the “heave” that is coming up at the net line. Something below is pushing up the court in that area and it is difficult to know what is causing that without excavation. The court is striped for other events and heavily used. There are some previous repairs that will have to be removed to affect the new refurbishing. The fence surrounding the court is in good condition. The asphalt is starting to fail but is still at a point where the condition could be extended several years by rehabilitating the surface and recoating. Expected life remaining in the courts is approximately five years. The 2021 budget pricing cost to rehabilitate this court is \$21,000.

The one unknown in the pricing is the heaving area. Cutting out the asphalt in that area and excavating the cause and filling with concrete is the best way to proceed. The cost to do this is unknown but we would estimate a cost of at least \$5,000. It may be worth pointing out that the DPW could do these refurbishments leaving the surfacing to others and save a great deal of money if their time allows.

On a ten-point scale:

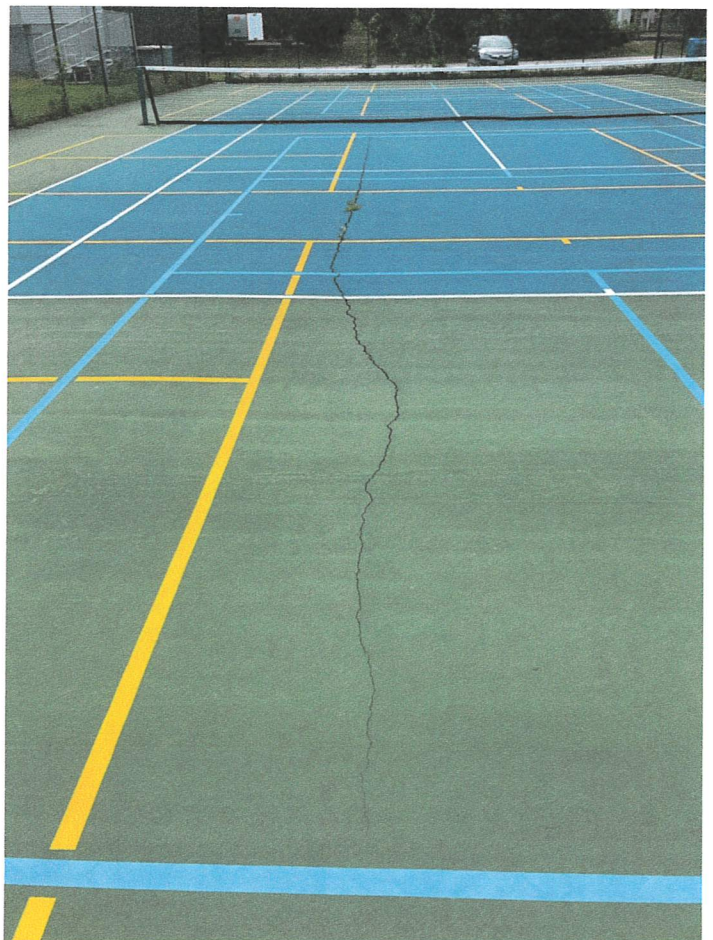
Asphalt Condition: 6

Surface condition: 7

Fence condition: 8

Parking: 9

Demand: 9



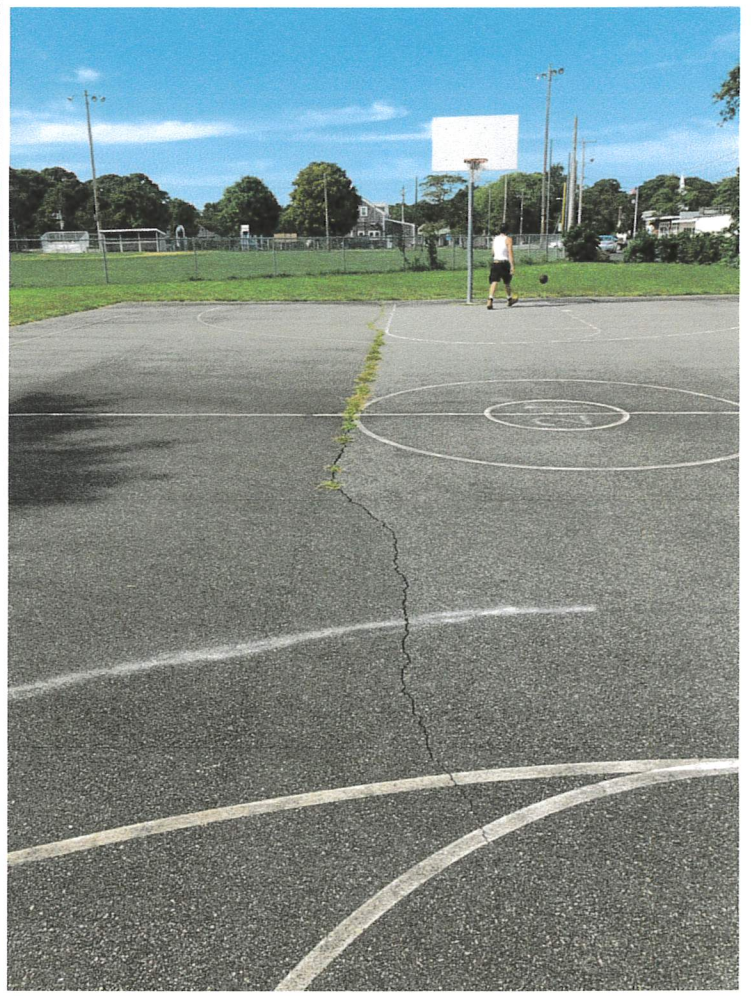


The Pocasset Basketball courts dedicated to David Duca are in fair to good condition. There is 328 linear feet of cracks that could be rehabilitated but the lack of surfacing on these courts makes that less imperative. The asphalt is not raised on either side of the cracks so should not present a trip hazard and the courts are used sparingly and then mostly by single players for “shooting practice”. The asphalt is starting to fail but the cracks are mostly confined to the asphalt seams from the paver. This usually means that the cracks will get worse slowly. Expected life remaining in the courts is approximately five years. No pricing was offered for repair because none appears necessary.

It is worth noting that grass encroaching on the cracks will accelerate the failure so treating the areas with a grass inhibitor would be helpful to extend the life. When it comes time to replace the fencing, a vinyl fence fabric would be desirable to slow the rust which is affecting the existing fence.

On a ten-point scale:  
Asphalt Condition: 6  
Surface condition: N/A  
Fence condition: 4  
Parking: 2

Demand: 1



## Cataumet Schoolhouse

The Cataumet Schoolhouse tennis court is in fair to good condition. There is 187 linear feet of cracks that need rehabilitation and three birdbaths. The court is striped for other events and heavily used. There is one previous refurbishment that will have to be removed to affect the new rehabilitation. The fence surrounding the court is in fair condition but in keeping with the village aesthetics so nothing should be done to disturb that. The asphalt is starting to fail but is still at a point where the condition could be extended several years by rehabilitating the surface and recoating. Expected life remaining in the courts is approximately four years. The 2021 budget pricing cost to rehabilitate this court is \$20,000.

On a ten-point scale:

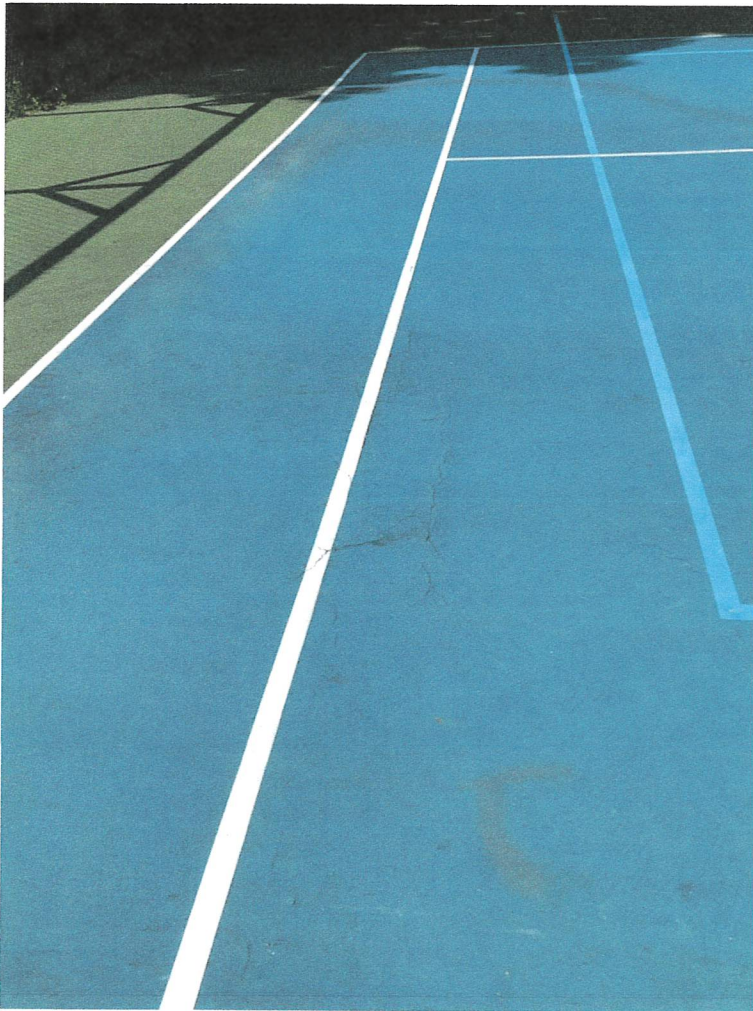
Asphalt Condition: 5

Surface condition: 6

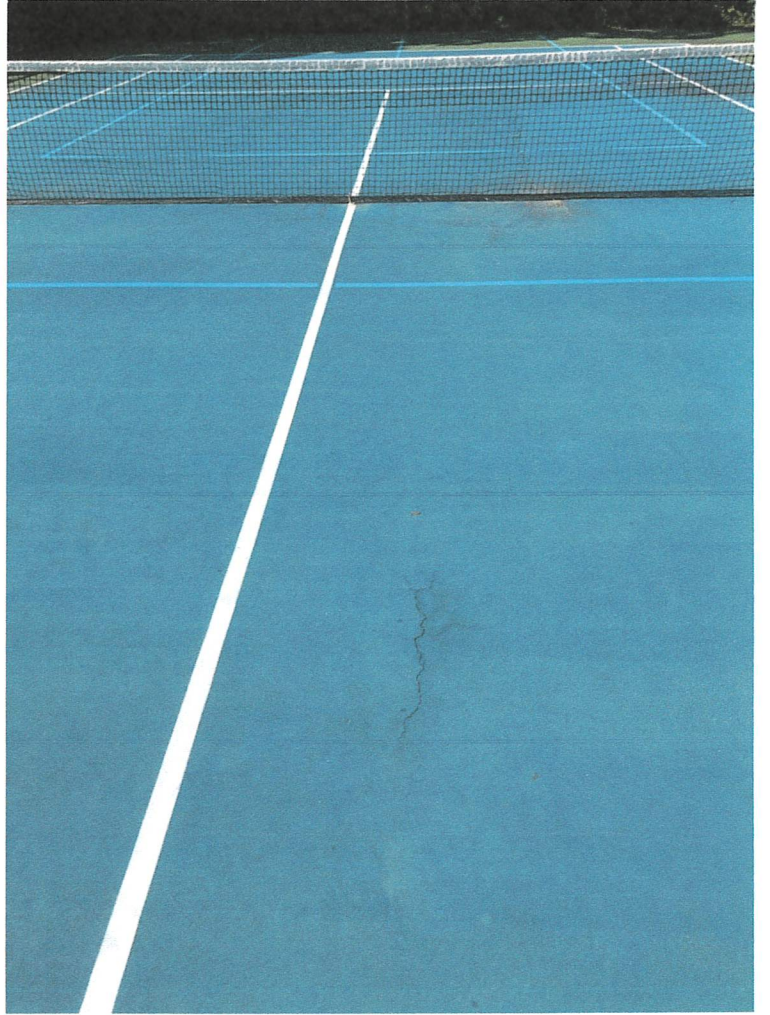
Fence condition: 6

Parking: 2

Demand: 7







## Rehabilitation of facilities

The proponents of this report are recommending that existing facilities be rehabilitated where economically feasible even when this rehabilitation will only extend the life of the facilities for several more years in order to reduce the impact on capital planning in any one year.

Nevertheless, significant investment in the recreational facilities in Bourne needs to be made.

The tennis courts and basketball courts in Town that are feasible to rehabilitate have been identified and the investment to bring them all up to good condition would require an investment of \$150,300. These funds could be targeted for appropriation in the Fall, 2021 for expenditure so courts would be ready for play in 2022. The advantage to early appropriation allows more time for bidding processes to be concluded and selected vendors' schedules to allow earlier consideration. The recent pandemic has driven people to spend more time at home and the demand on services to build and repair racquet sports courts is creating a backlog at many potential contractors.

# Bourne Hard Court Rehabilitation Plan

Tennis	Asphalt Condition	Surface Condition	Fence Condition	Parking	Demand	Overall Score	Rehabilitation Estimate	Replacement Estimate
	X 2	x 3	x 1	x 1	x 2			in 2021
Clarke Field Tennis (2)	4	5	8	10	8	57	\$54,000	\$255,000
Keith Field Recreation Area, Sagamore	1	2	4	8	3	26	\$30,300	\$138,000
Town Hall Tennis	1	2	6	9	2	27	\$0	\$138,000
Chester Park, Monument Beach (2)	2	3	7	5	8	41	\$0	\$255,000
Pocasset Recreation Area Tennis	6	7	8	9	9	68	\$21,000	\$138,000
Cataumet Schoolhouse Tennis	5	6	6	2	7	50	\$20,000	\$255,000
							\$125,300	

Basketball	Asphalt Condition	Surface Condition	Fence Condition	Parking	Demand	Overall Score	Rehabilitation Estimate	Replacement Estimate
	X 2	x 3	x 1	x 1	x 2			in 2021
Clarke Field Basketball	4	5	8	10	8	57	\$25,000	\$75,000
Veterans Memorial Community Building	3	5	10	10	10	61	\$0	\$75,000
Chester Park, Monument Beach BB	2			5	8	25	\$0	\$75,000
Pocasset Recreation Area Basketball (2)	6		4	2	1	20	\$0	\$75,000
							\$25,000	